

SCOPE OF WORK

DIVISION 1 - GENERAL

- G1- AN ASBESTOS INSPECTION AND TESTING WERE PERFORMED ON THE PROPERTY BY ADVANCED ENVIRONMENTAL CORP. AND ASBESTOS-CONTAINING MATERIALS WERE IDENTIFIED AS INDICATED IN THE REPORT DATED MARCH 6, 2023, WHICH IS AVAILABLE TO THE CONTRACTOR(S) TO REVIEW. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REMOVAL OF ALL ASBESTOS-CONTAINING MATERIALS AND FOR SECURING ALL NECESSARY PERMITS AND WAIVERS TO COMPLETE THE WORK AS SCHEDULED. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL THE RULES AND REGULATIONS GOVERNING THE REMOVAL OF ASBESTOS-CONTAINING MATERIALS AS DIRECTED BY THE EPA, OSHA, AND NYS LAWS. ALL ASBESTOS ABATEMENT WORK IS TO BE PERFORMED BY A LICENSED, QUALIFIED ABATEMENT CONTRACTOR.
- G2- GIVEN THE AGE OF THE PROPERTY ON WHICH WORK IS TO BE PERFORMED, ALL PAINT FINISHES ARE ASSUMED TO CONTAIN DETECTABLE AMOUNTS OF LEAD. ALL LEAD-BASED PAINT SHALL BE REMOVED IN ACCORDANCE WITH THE RULES AND REGULATIONS GOVERNING THE REMOVAL AND CONTAINMENT OF LEAD-BASED PAINT AS DIRECTED BY THE EPA, OSHA, AND NYS LAWS. ALL LEAD-BASED PAINT REMOVAL WORK IS TO BE PERFORMED BY A LICENSED, QUALIFIED CONTRACTOR.
- G3- THE CONTRACTOR IS RESPONSIBLE TO DOCUMENT AND PHOTOGRAPH ALL EXISTING CONDITIONS WITHIN THE SCOPE OF WORK AREA PRIOR TO ANY DISASSEMBLY AND CUTTING OF MASONRY ELEMENTS.
- G4- THE CONTRACTOR SHALL PROTECT ALL EXISTING SURFACES FOR THE DURATION OF THE CONTRACT AND SHALL REPAIR ANY DAMAGE TO SURFACES RESULTING FROM WORK AT NO EXTRA COST OR CONTRACT TIME. ALL DAMAGE RESULTING FROM THE REMOVALS SHALL BE DOCUMENTED BY CONTRACTOR ON DRAWINGS. SUCH ITEMS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND OWNER.
- G5- THE PROPERTY HAS BEEN DETERMINED TO POSSESS HISTORIC AND ARCHITECTURAL SIGNIFICANCE. THE CONTRACTOR SHALL RECOGNIZE THAT ALL ASPECTS OF THE PROPERTY MAY POTENTIALLY CONTRIBUTE TO THE SIGNIFICANCE AND THE CONTRACTOR SHALL NOT JUDGE THE RELATIVE SIGNIFICANCE OF ANY FEATURES NOR THE IMPACT OF ANY OR ALL PROPOSED WORK. THE RESPONSIBILITY SHALL REST SOLELY WITH THE ARCHITECT. CONSEQUENTLY, NO DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE PERFORMED AND NO FEATURES SHALL BE ALTERED, REMOVED, REUSED OR TAKEN FROM THE PREMISES WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT AS BEING CONSISTENT WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ALL WORK SHALL COMPLY WITH THE SECRETARY OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
- G6- THE G.C. SHALL PROVIDE A SERIES OF WATER TESTS AFTER THE COMPLETION OF WORK AT THE FOLLOWING AREAS: TWO LOCATIONS AT THE HOSE TOWER REBUILDING, ONE LOCATION AT EACH PARAPET, TWO SCUPPER LOCATIONS.

DIVISION 2 - DEMOLITION

- D1- REMOVE AND DISPOSE OF EXISTING ROOFING ASSEMBLY AT THE MAIN ROOF, FOURTH FLOOR ROOF AND HOSE TOWER (ALLOWANCE = 100% OF ALL ROOFS). REMOVAL OF THE EXISTING ROOF SHALL INCLUDE ALL ROOF ASSEMBLY MATERIALS ABOVE THE EXISTING ROOF DECK, INCLUDING BUT NOT LIMITED TO THE ROOF MEMBRANE, COVERBOARD, AND ANY PREVIOUS ROOFING MATERIAL.
- D2- REMOVE AND DISPOSE OF EXISTING VERTICALLY APPLIED MODIFIED BITUMEN ROOFING MEMBRANE AT THE INBOARD SIDE OF PARAPETS AT MAIN ROOF, FOURTH FLOOR ROOF AND HOSE TOWER ROOF DOWN TO EXISTING PARAPET BACKUP (ALLOWANCE = 100% OF ALL VERTICAL MEMBRANES). REMOVAL SHALL ALSO INCLUDE THE MEMBRANE CURRENTLY INSTALLED OVER THE FOURTH FLOOR ROOF PARAPET COPING.
- D3- REMOVE EXISTING TERRA COTTA CAMELBACK COPINGS AND METAL SUB-COPING FLASHINGS AT THE MAIN ROOF PARAPETS (ALLOWANCE = 100% OF ALL TERRA COTTA CAMELBACKS).
- D4- REMOVE EXISTING METAL COPING COVERS AT MAIN ROOF AND HOSE TOWER ROOF PARAPETS (ALLOWANCE = 100% OF ALL METAL COPING COVERS).
- D5- REMOVE EXISTING METAL PARAPET COVERS AT THE OUTBOARD SIDE OF PARAPET AT THE FOURTH FLOOR ROOF, AND THE HOSE TOWER ROOF (ALLOWANCE = 100% OF ALL METAL PARAPET COVERS).
- D6- REMOVE THE EXISTING SCUPPERS AT THE MAIN ROOF, FOURTH FLOOR ROOF AND HOSE TOWER ROOF (ALLOWANCE = 12 LOCATIONS).
- D7- REMOVE EXISTING DOWNSPOUTS AT THE MAIN ROOF, FOURTH FLOOR ROOF AND HOSE TOWER ROOF (ALLOWANCE = 12 LOCATIONS).
- D8- REMOVE EXISTING PERIMETER METAL COUNTERFLASHING AT THE MAIN ROOF AND FOURTH FLOOR ROOF (ALLOWANCE = 100% OF COUNTERFLASHING - APPROXIMATELY 150 LF).
- D9- REMOVE AND DISPOSE OF EXISTING ROOF HATCH AT THE HOSE TOWER ROOF (ALLOWANCE = 1 LOCATION).
- D10- REMOVE AND DISPOSE OF EXISTING EXHAUST DUCT AT THE BALTIC AVENUE FAÇADE, MAIN ROOF AND THE NORTH SETBACK FAÇADE (ALLOWANCE = 1 LOCATION).
- D11- ALTERNATE 1A - REMOVE EXISTING ALUMINUM DOUBLE HUNG AND FIXED WINDOWS AT ALL FAÇADES.
- D12- REMOVE EXISTING STONE COPINGS AT MAIN ROOF, FOURTH FLOOR ROOF, AND HOSE TOWER ROOF PARAPETS (ALLOWANCE = 100% OF ALL COPING STONES - APPROXIMATELY 280 LF).
- D13- ALTERNATE 1C - REMOVE EXISTING PEDESTRIAN DOORS AND FRAMES AT THE FIRST FLOOR FAÇADES.
- D14- NOT USED.
- D15- REMOVE EXISTING PEDESTRIAN DOOR, FRAME AND TRANSOM AT THE THIRD FLOOR SETBACK FAÇADE OF THE MAIN ROOF.

DIVISION 3 - CONCRETE

- C1- SCARIFY EXISTING CONCRETE ROOF SLAB (ALLOWANCE FOR 2" DEPTH = 100% OF ALL ROOFS). SKIM COAT SURFACE (100%). BUILD UP SKIM COAT AS NECESSARY TO PROVIDE POSITIVE PITCH TO ROOF DRAINS.
- C2- PROVIDE NEW CONCRETE MAINTENANCE PADS FOR EXISTING SPLIT SYSTEM UNITS AT THE MAIN ROOF & VARIOUS EQUIPMENT AT THE HOSE TOWER ROOF (ALLOWANCE = 4 LOCATIONS). GC TO TEMPORARILY RELOCATE SPLIT SYSTEM UNITS AND EMERGENCY EQUIPMENT AS REQUIRED TO INSTALL NEW PADS, CLIPS & RESIN BASED FLASHING. GC SHALL COORDINATE WITH OWNERSHIP FOR TEMPORARY RELOCATION OF ALL ITEMS. GC SHALL ALSO PATCH EXISTING OPENING IN MASONRY WALL CURRENTLY USED FOR CONDENSATE LINE AND PROVIDE NEW OPENING FOR CONDENSATE LINE ABOVE FLASHING LEVEL. NEW OPENING SHALL INCLUDE EMSEAL CLOSURE.
- C3- PROVIDE CONCRETE REPAIR AT 3 LOCATIONS OF PREVIOUS ROOF CORES. EXISTING CORES ARE APPROXIMATELY 3" IN DIAMETER AND 5" THICK.

DIVISION 4 - MASONRY

- M1- TEST MASONRY CLEANING PRODUCTS AS OUTLINED IN SPECIFICATIONS. THE TEST CLEANING CAMPAIGN SHOULD INCLUDE MASONRY, LIMESTONE AND BLUESTONE MATERIALS. LOCATION SHALL BE SELECTED BY ARCHITECT AND OWNERSHIP (ALLOWANCE = 2 PRODUCTS AT 3 LOCATIONS EACH).
- M2- PERFORM A MASONRY CLEANING CAMPAIGN TO ADDRESS STAINING, BIOLOGICAL GROWTH, EFFLORESCENCE AND PREVIOUS COATINGS AT ALL FAÇADES AS OUTLINED IN SPECIFICATIONS. CLEANING PROGRAM SHALL BE BASED ON THE SUCCESSFUL CLEANING TEST (ALLOWANCE = 100% OF ALL FAÇADES).
- M3- REPOINT THE BUILDING IN ITS ENTIRETY AT ALL FOUR FAÇADES, INCLUDING SETBACKS, WITH AN APPROPRIATE MORTAR (COLOR AND HARDNESS) AND TOOLING PROFILE (ALLOWANCE = 100% OF ALL FAÇADES). MORTAR REMOVAL AND RAKING TO BE PERFORMED BY HAND RAKING TO AVOID DAMAGING MASONRY.
- M4- REBUILD THREE-WYTHE MASONRY (STRUCTURAL) WALL AT THE HOSE TOWER STAIRWELL. DISASSEMBLE DAMAGED AND DETERIORATED BRICK MASONRY UNITS AT ALL WYTHES OF WALL AS PER DETAILS. REBUILD ALL WYTHES WITH NEW BRICK MASONRY UNITS TO MATCH EXISTING IN COLOR, PROFILE, DIMENSION, AND BOND PATTERN (ALLOWANCE = 350 SF). REBUILD SHALL INCLUDE ALL WALL TIES AND FLASHINGS AS PER DETAILS.

- M5- ALTERNATE 4 - REMOVE EXISTING MASONRY AT EXISTING LINTELS. PREPARE, PRIME AND PAINT EXISTING STEEL LINTELS AND INSTALL NEW FABRIC FLASHING SET IN MASTIC. EXTEND FLASHING MIN. 8" BEYOND MASONRY OPENING AND END DAM. TERMINATE TOP EDGE OF FLASHING WITH REGLETTED METAL TERMINATION PIECE AND SET WITH LEAD WEDGES. INSTALL NEW MASONRY UNITS TO MATCH EXISTING ADJACENT PATTERN. (ALLOWANCE = 100% OF ALL LINTELS)
- M6- REBUILD EXISTING FACE MASONRY (FACEBRICK) AT LOCALIZED AREAS THROUGHOUT ALL FAÇADES AT LOCATIONS OF CRACKED OR SPALLED MASONRY (ALLOWANCE = 700 SF).
- M7- INSTALL NEW IN-KIND REPLACEMENT TERRA COTTA CAMELBACK STONE COPING UNITS AT EXISTING PARAPETS AT THE MAIN ROOF. INSTALL NEW RESIN-BASED SUB-COPING FLASHING PRIOR TO THE REINSTALLATION OF THE NEW TERRA COTTA COPINGS (ALLOWANCE = 100% OF ALL TERRA COTTA CAMELBACKS - APPROXIMATELY 178 LF). PROVIDE MOCK-UPS AND DETAILS FOR APPROVAL BY NPS AND NEW JERSEY SHPO FOR APPROVAL PRIOR TO FULL INSTALLATION.
- M8- REMOVE, CATALOGUE, SALVAGE AND REBUILD THE DECORATIVE MASONRY PILASTER AT THE DRILL YARD WALL (ALLOWANCE = 1 LOCATION).
- M9- REBUILD THREE-WYTHE MASONRY WALL AT THE DRILL YARD WALL NORTH OF THE DECORATIVE MASONRY PILASTER (ALLOWANCE = 75 SF). PROVIDE A FINISHED VERTICAL MASONRY EDGE AT THE END OF THE WALL.
- M10- PROVIDE NEW IN-KIND REPLACEMENT TERRA COTTA CAMELBACK COPING STONES AT THE REBUILD MASONRY WALL AT THE DRILL YARD WALL NORTH OF THE DECORATIVE MASONRY PILASTER (ALLOWANCE = APPROXIMATELY 12 LF). PROVIDE MOCK-UPS AND DETAILS FOR APPROVAL BY NPS AND NEW JERSEY SHPO FOR APPROVAL PRIOR TO FULL INSTALLATION.
- M11- REMOVE ANY EXISTING HANGING MECHANICAL REMAINS (DUCTWORK, PIPES, FANS, MISCELLANEOUS REMAINS). REPLACE MASONRY OR PROVIDE A DUTCHMAN REPAIR AS APPROPRIATE (ALLOWANCE = 35 LOCATIONS).
- M12- PROVIDE DUTCHMAN REPAIRS AT LOCATIONS OF MATERIAL LOSS (ALLOWANCE = 3 SF).
- M13- ROUTE AND PATCH AT LOCATIONS OF LIMESTONE CRACKING (ALLOWANCE = 5 LF).
- M14- PROVIDE SURFACE REPAIRS AT AREAS OF EXFOLIATION AT BLUESTONE BASE (ALLOWANCE = 85 SF).
- M15- ALTERNATE 2 - REBUILD LOCALIZED AREAS OF EXISTING FACE MASONRY AT SOUTH SECTION OF DRILL YARD WALL. REPOINT WALL IN ITS ENTIRETY FROM THE DECORATIVE PILASTER TO THE LADDER HOUSE (ALLOWANCE = 90 SF).
- M16- PROVIDE & INSTALL NEW PRE-CAST CONCRETE COPING STONES AT THE MAIN ROOF, FOURTH FLOOR ROOF AND HOSE TOWER ROOF PARAPETS (ALLOWANCE = 100% OF ALL COPING STONES - APPROXIMATELY 280 LF).
- M17- PROVIDE NEW PRE-CAST CONCRETE PANELS AND LEDGE AT OUTBOARD SIDE OF FOURTH FLOOR ROOF AND HOSE TOWER ROOF PARAPETS. PANEL INSTALLATION SHALL ACCOMMODATE EXISTING BRICK DETAILING AND ALSO INCLUDE THE INSTALLATION OF FABRIC COATED COPPER FLASHING. PROVIDE ENGINEERED SHOP DRAWINGS FOR ANCHORAGE.
- M18- REPOINT INTERIOR MASONRY AT HOSE TOWER WITH AN APPROPRIATE MORTAR (COLOR AND HARDNESS) AND TOOLING PROFILE (ALLOWANCE = 2750 SF). MORTAR REMOVAL AND RAKING TO BE PERFORMED BY HAND RAKING TO AVOID DAMAGING MASONRY.

DIVISION 5 - METALS

- M11- PROVIDE & INSTALL NEW METAL DOWNSPOUTS AT ALL FAÇADES (ALLOWANCE = 12 LOCATIONS). NEW DOWNSPOUTS SHALL BE INSTALLED WITH NON-CORROSIVE ANCHORAGE. PROVIDE & INSTALL NEW CONCRETE SPLASH PADS AT THE TERMINATION OF EACH DOWNSPOUT.
- M12- PROVIDE AND INSTALL NEW THROUGH-WALL SCUPPER SLEEVES AT EXISTING SCUPPERS (ALLOWANCE = 12 LOCATIONS). PROVIDE CUSTOM CAST IRON GRILL COVER AT ROOF SIDE OF SCUPPER OPENINGS.
- M13- NOT USED.
- M14- INSTALL NEW METAL EXHAUST DUCT (IN-KIND REPLACEMENT) AT THE BALTIC AVENUE FAÇADE, MAIN ROOF, AND THE NORTH SETBACK FAÇADE (ALLOWANCE = 1 LOCATION - FULL REPLACEMENT). INSTALL DUCTWORK WITH NON-CORROSIVE METAL ANCHORS AND PROVIDE NEW FULLY FLASHED DUCT SUPPORTS AT THE MAIN ROOF HORIZONTAL TRANSITION. PROVIDE NEW STAINLESS STEEL THROUGH-WALL SLEEVE & FULLY FLASH WITH RESIN.
- M15- PROVIDE AND INSTALL PIPE CURB ASSEMBLIES AND CAPS AT THE MAIN ROOF AND HOSE TOWER ROOF FOR FUTURE USE (ALLOWANCE = 3 LOCATIONS).
- M16- REMOVE MILL SCALE/RUST/CORROSION AT BASE OF EXISTING HISTORIC FLAGPOLE AT HOSE TOWER ROOF. PROVIDE NEW METAL COUPLER AT BASE OF POLE TO RECEIVE RESIN-BASED FLASHING. NEW COUPLER SHALL BE MOUNTED TO ROOF DECK AT HORIZONTAL FLANGE WITH EXPANSION BOLTS. G.C. SHALL PROVIDE SHOP DRAWINGS OF COUPLER FOR REVIEW. PREPARE PRIME AND PAINT FLAGPOLE IN ITS ENTIRETY. G.C. TO CLOSE & SEAL TOP OF FLAGPOLE PRIOR TO PAINTING. COLOR TO BE SELECTED BY ARCHITECT DURING CONSTRUCTION.

DIVISION 6 - WOOD

- W1- ALTERNATE 1D - RESTORE HISTORIC STABLE DOORS AT BALTIC AVENUE. REPAIR AND RESTORE EXISTING WOOD DOORS TO REMAIN AS INDICATED IN THE SCHEDULE, INCLUDING DOORS, FRAMES, MOLDINGS, AND TRIMS. REPAIRS TO INCLUDE WOOD FILL, DUTCHMAN OF SELECT AREAS, GLAZING, WEATHERSTRIPPING AND GASKET REPLACEMENT. SCRAPE EXISTING PAINT FINISH, PERFORM REPAIRS AND SELECT AREA REPLACEMENTS, CONSOLIDATE EXPOSED WOOD MATERIAL AS INDICATED. PROVIDE NEW BRICK MOLD TO MATCH EXISTING IN PROFILE AND DIMENSION AS REQUIRED. PRIME AND PAINT. HARDWARE TO BE REMOVED PRIOR TO WORK, SALVAGED, AND REINSTALLED AT COMPLETION OF WORK. CONFIRM FULL OPERABILITY. FINISH COLOR TO BE SELECTED BY ARCHITECT.
- W2- ALTERNATE 1B - RESTORE HISTORIC WOOD LOUVERS AT SIXTH FLOOR LEVEL OF THE HOSE TOWER ROOF. REPAIR AND RESTORE AS INDICATED IN THE SCHEDULE, INCLUDING SLATS, FRAMES, MOLDINGS, AND TRIMS. REPAIRS TO INCLUDE WOOD FILL, DUTCHMAN OF SELECT AREAS, WEATHERSTRIPPING REPLACEMENT. SCRAPE EXISTING PAINT FINISH, PERFORM REPAIRS AND SELECT AREA REPLACEMENTS, AND CONSOLIDATE EXPOSED WOOD MATERIAL. PROVIDE NEW BRICK MOLD TO MATCH EXISTING IN PROFILE AND DIMENSION AS REQUIRED. PRIME AND PAINT FULL LOUVER UNITS. FINISH COLOR TO BE APPROVED BY ARCHITECT. G.C. TO PROVIDE A PAINTED WOOD INTERIOR CLOSURE TO SEAL LOUVER.

DIVISION 7 - THERMAL

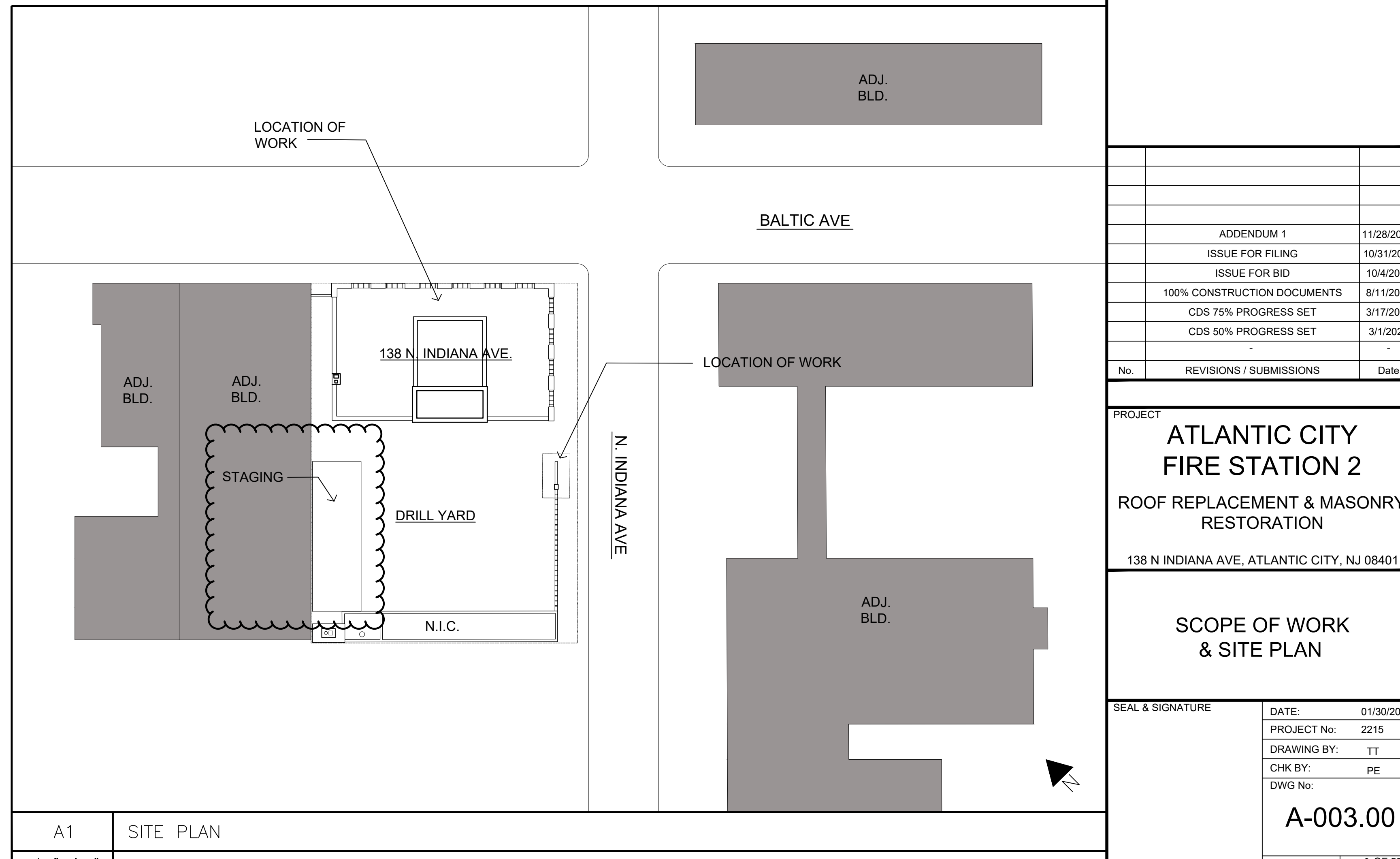
- T1- PROVIDE AND INSTALL NEW KEMPER COLD-FLUID APPLIED ROOFING MEMBRANE SYSTEM WITH VAPOR BARRIER, INSULATION, COVERBOARD AND FLASHING AT MAIN ROOF, FOURTH FLOOR ROOF AND HOSE TOWER ROOF (ALLOWANCE = 100% OF ALL ROOFS). INSTALLATION OF NEW ROOFING SYSTEM SHALL INCLUDE KEMPER MEMBRANE AT THE INBOARD SIDE OF ALL EXISTING PARAPETS AND ALSO INSTALLED BELOW ALL COPINGS. PROVIDE RESIN-BASED FLASHING AT ALL ROOF PENETRATIONS AS PER MANUFACTURER'S RECOMMENDATIONS.
- T2- FLASH NEW THROUGH-WALL METAL SCUPPERS FULLY WITH KEMPER COLD-FLUID APPLIED FLASHING (ALLOWANCE = 12 LOCATIONS).
- T3- PROVIDE AND INSTALL NEW TWO-PIECE STAINLESS STEEL COUNTER-FLASHING AT PARAPET WALLS OR SETBACK WALLS AT MAIN ROOF AND FOURTH FLOOR ROOF (ALLOWANCE = 100% OF COUNTERFLASHING - APPROXIMATELY 150 LF).
- T4- PROVIDE NEW THERMALLY BROKEN ROOF HATCH WITH NEW CURB AND INTEGRAL FLASHING AT HOSE TOWER ROOF (ALLOWANCE = 1 LOCATION). HATCH SHALL BE CUSTOM SIZED TO MATCH EXISTING ROOF OPENING.
- T5- ALTERNATE 5 - REMOVE EXISTING PERIMETER SEALANT AT ALL WINDOWS & DOORS THROUGHOUT ALL FAÇADES. INSTALL CONTINUOUS PERIMETER SEALANT & BACKER ROD AT ALL WINDOWS & DOORS.

DIVISION 8 - WINDOWS & DOORS

- W1- ALTERNATE 1A - PROVIDE AND INSTALL NEW METAL CLAD WOOD DOUBLE HUNG OR FIXED WINDOWS AT ALL FAÇADES. WINDOW INSTALLATIONS SHALL INCLUDE NEW HEAD, SILL, JAMB FLASHING, REMOVAL OF ALL WEIGHTS AND INSTALLATION OF INSULATION AT ALL VOIDS (PREVIOUS WEIGHT POCKETS). PROVIDE NEW PAINTED WOOD INTERIOR TRIM & STOOLS TO MATCH EXISTING AT ALL LOCATIONS. REPAIR EXISTING PLASTER AND LATH WINDOW SURROUND AS REQUIRED FOR WINDOW INSTALLATION. INSTALLATION SHALL ALSO INCLUDE NEW PAINTED WOOD INTERIOR SILLS AND STOOLS (PROFILE TO MATCH ORIGINALS) WHERE NOTED ON THE PROPOSED PLANS. FINISH COLOR TO BE SELECTED BY ARCHITECT. PROVIDE PHOTOS, MOCK-UPS, AND DETAILS FOR APPROVAL BY NPS AND NEW JERSEY SHPO FOR APPROVAL PRIOR TO FULL INSTALLATION.
- W2- NOT USED.
- W3- ALTERNATE 1C - PROVIDE AND INSTALL NEW HOLLOW METAL DOOR AND FRAME (DRILL YARD), AND ALUMINUM CLAD WOOD DOORS AND FRAMES (STREET) AT FIRST FLOOR FAÇADES AS PER DOOR SCHEDULE. SHOP PRIME AND PAINT. PROVIDE NEW HARDWARE AND WEATHERSTRIPPING AND GASKETING. FINISH COLOR OF INTERIOR AND EXTERIOR TO BE SELECTED BY ARCHITECT. ALL NEW PAINTED INTERIOR AND EXTERIOR WOOD BRICK MOLDS AND TRIMS TO MATCH EXISTING.
- W4- NOT USED.
- W5- PROVIDE AND INSTALL NEW HOLLOW METAL PEDESTRIAN DOOR AND FRAME AT THIRD FLOOR SETBACK FAÇADE. NEW DOOR INSTALLATION SHALL INCLUDE NEW SADDLE, DIAMOND PLATE THRESHOLD, METAL SADDLE, KICK-PLATE, SUB-SILL FLASHING AND JAMB FLASHING. FINAL COLOR TO BE SELECTED BY ARCHITECT. INSTALLATION SHALL ALSO INCLUDE NEW MASONRY STUB WALL. INTERIORS SHALL BE INSTALLED/REPAIRED TO MATCH ADJACENT SURROUND AND A NEW PAINTED WOOD STEP INSTALLED.

DIVISION 9 - FINISHES

- F1- ALTERNATE 3 - REPLACE, REPAIR OR RESTORE EXISTING INTERIOR PLASTER AND LATH WALL FINISHES TO ADDRESS MULTIPLE AREAS OF LEAK DAMAGE AS NOTED ON THE PROPOSED PLANS. THE SCOPE OF WORK DOES NOT INCLUDE REPLACEMENT OF ANY EXISTING DETERIORATED BACK-UP WALLS, CEILINGS OR FLOOR SYSTEMS (ALLOWANCE = 3,500 SF).



A1 SITE PLAN
1/32" = 1' - 0"

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GEDEON GRC CONSULTING

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PRINCETON, NJ 08540
609-873-7011 TEL

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No.	REVISIONS / SUBMISSIONS	Date
	ADDENDUM 1	11/28/2023
	ISSUE FOR FILING	10/31/2023
	ISSUE FOR BID	10/4/2023
	100% CONSTRUCTION DOCUMENTS	8/11/2023
	CDS 75% PROGRESS SET	3/17/2023
	CDS 50% PROGRESS SET	3/1/2023

PROJECT
**ATLANTIC CITY
FIRE STATION 2**
ROOF REPLACEMENT & MASONRY
RESTORATION
138 N INDIANA AVE, ATLANTIC CITY, NJ 08401

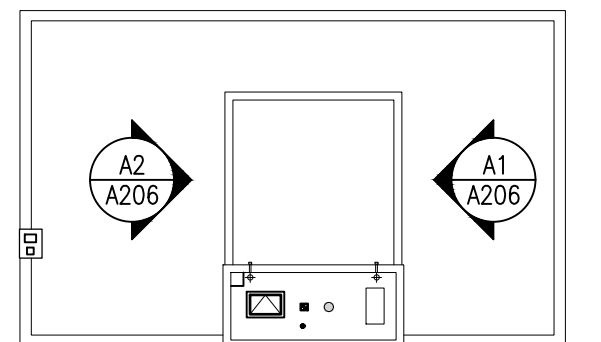
**SCOPE OF WORK
& SITE PLAN**

SEAL & SIGNATURE	DATE: 01/30/2023
	PROJECT No: 2215
	DRAWING BY: TT
	CHK BY: PE
	DWG No:
	A-003.00
	3 OF 55

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PROPOSED ELEVATION LEGEND

KEY NOTE	◊
ALTERNATE KEY NOTE	◊
EXISTING LIGHT FIXTURE	⊠
EXISTING ELECTRICAL CONDUIT	— —
EXISTING ELECTRICAL OUTLET BOX / EQUIPMENT	□E
MECHANICAL DAMAGE (LOCALIZED FACEBRICK REPLACEMENT)	■
MASONRY REBUILDING (STRUCTURAL)	▒
MASONRY REBUILDING (FACEBRICK)	▒
LINTEL REPAIR (M5)	----

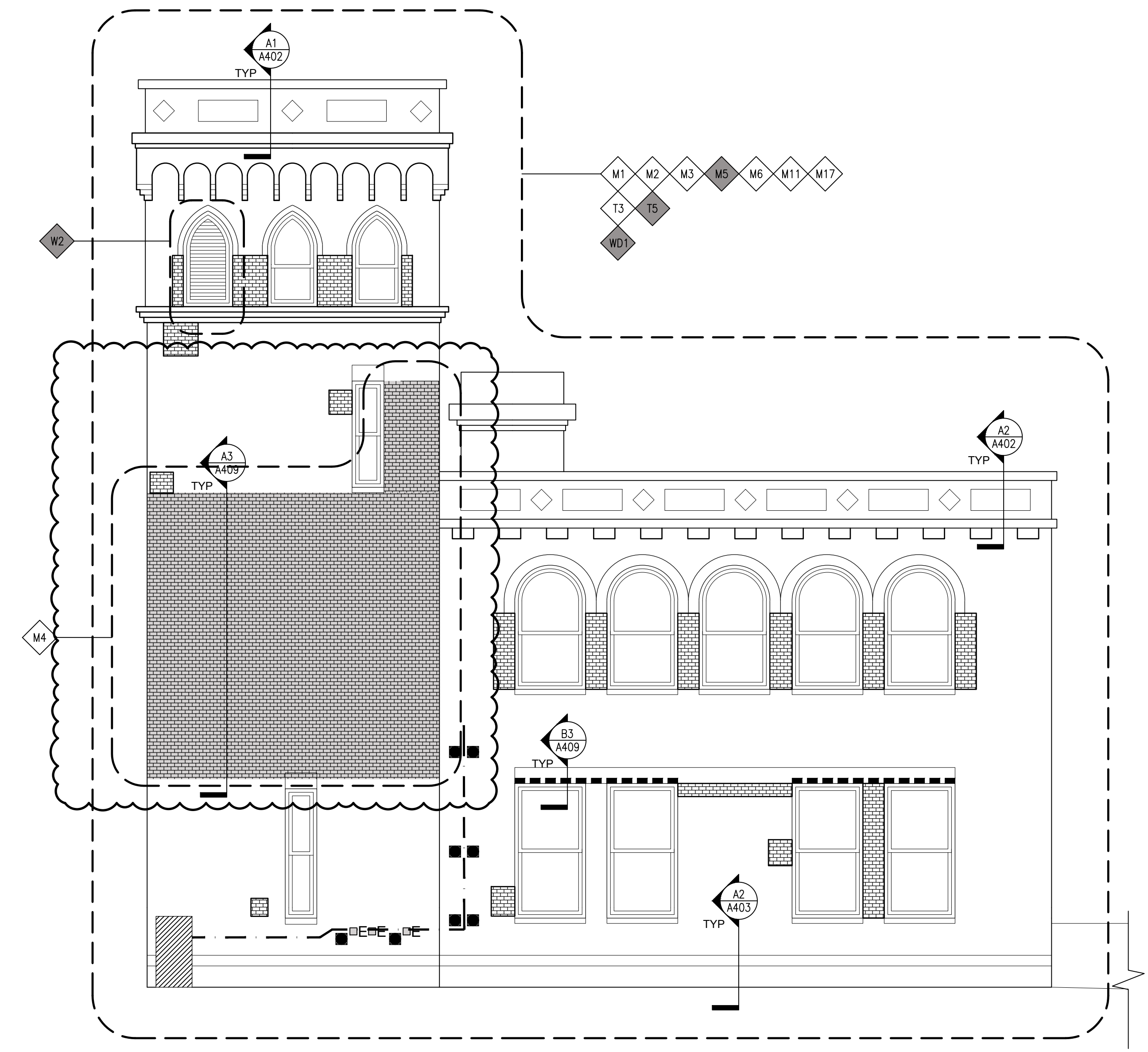
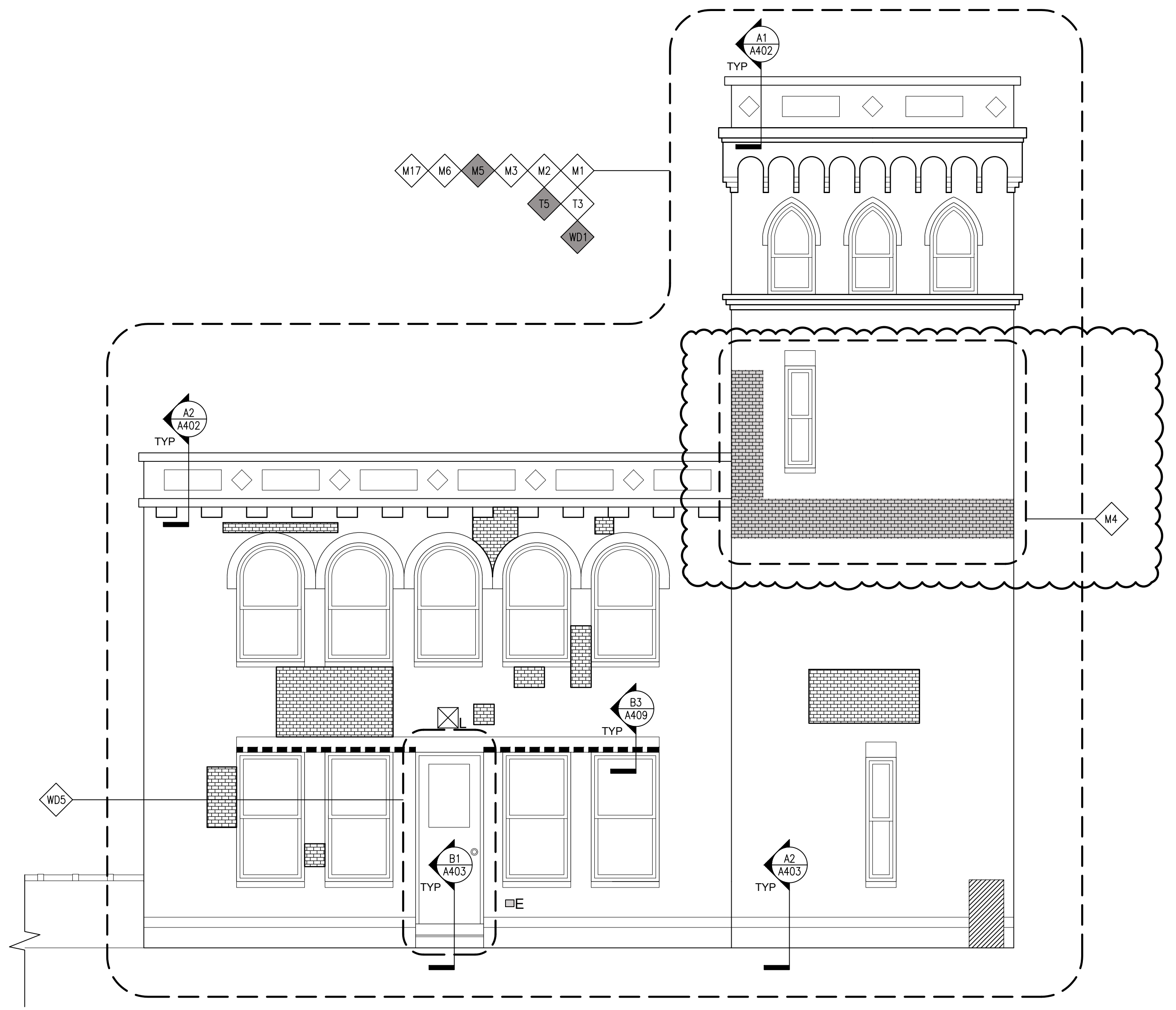


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PROJECT
**ATLANTIC CITY
FIRE STATION 2**
ROOF REPLACEMENT & MASONRY RESTORATION
138 N INDIANA AVE, ATLANTIC CITY, NJ 08401

**PROPOSED
EAST AND WEST
ELEVATION CALL OUT**

SEAL & SIGNATURE	DATE:	01/30/2023
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	DRAWING BY:	JG/KW
	CHK BY:	TT/PE
	DWG No:	A-206.00



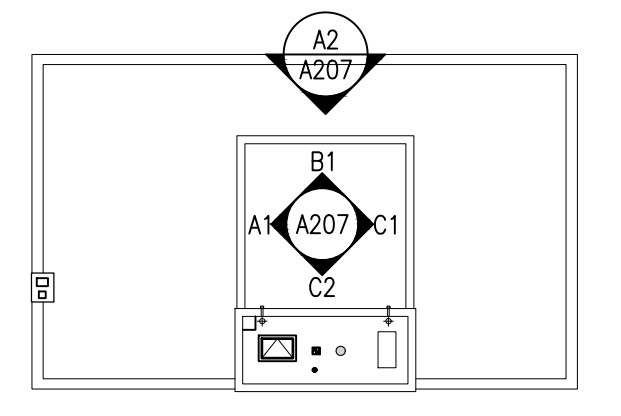
A2 WEST FACADE
1/4"=1'-0"

A1 EAST FACADE
1/4"=1'-0"

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KEY NOTE	◊
ALTERNATE KEY NOTE	◊
EXISTING LIGHT FIXTURE	⊠
EXISTING ELECTRICAL CONDUIT	— —
EXISTING ELECTRICAL OUTLET BOX / EQUIPMENT	⊞
MECHANICAL DAMAGE (LOCALIZED FACEBRICK REPLACEMENT)	■
MASONRY REBUILDING (STRUCTURAL)	▨
MASONRY REBUILDING (FACEBRICK)	▩
LINTEL REPAIR (M5)	— — — —



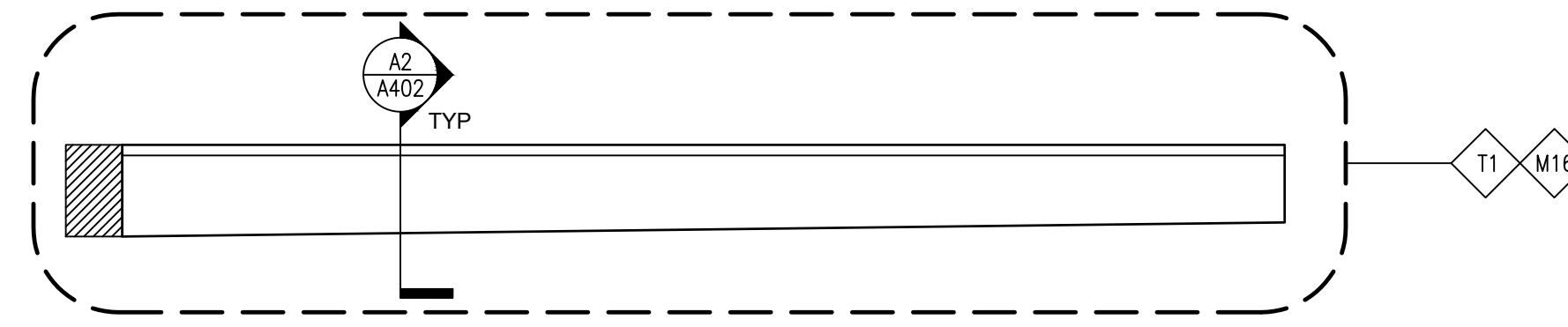
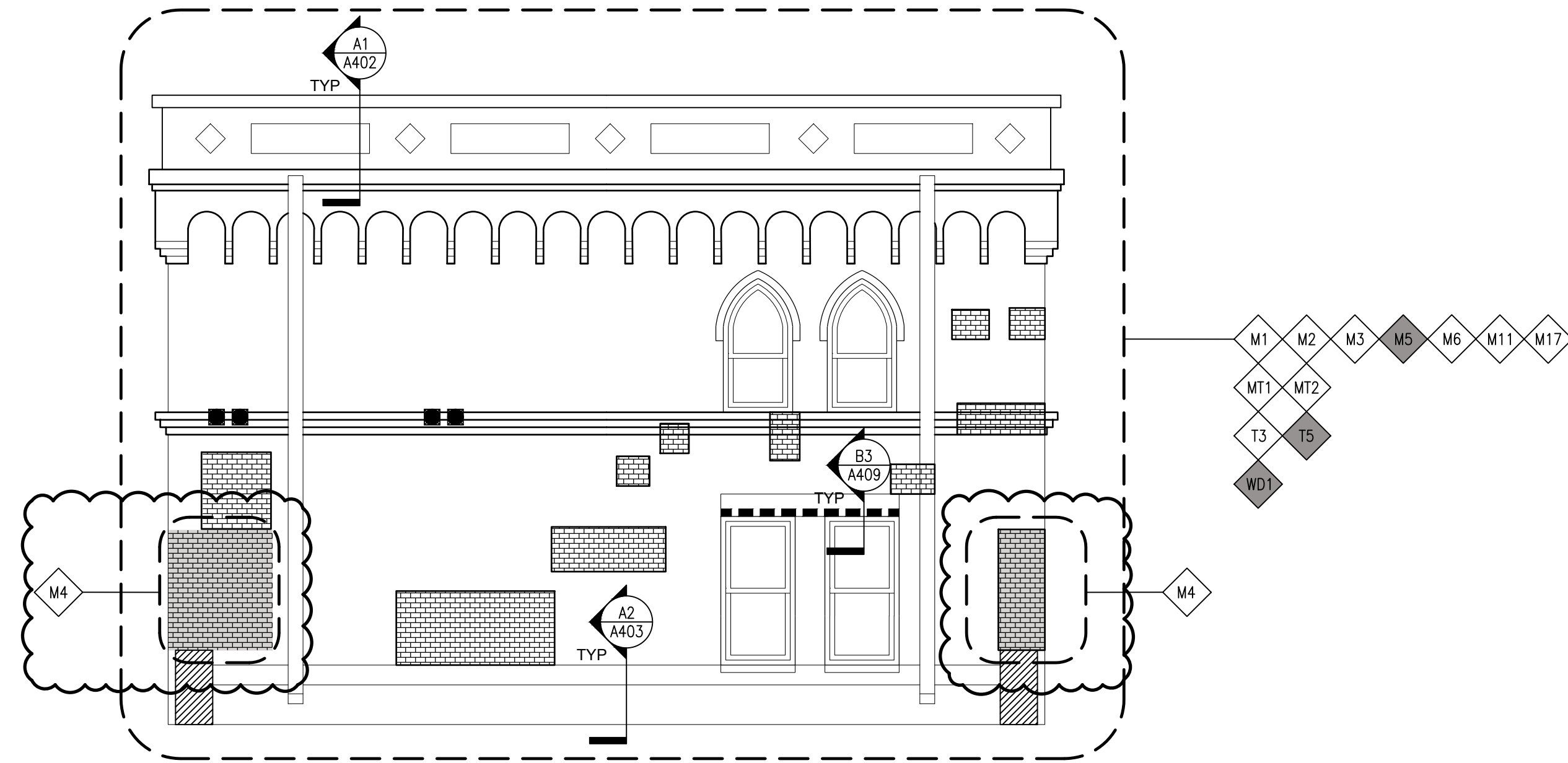
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CDS 50% PROGRESS SET	3/1/2023

PROJECT
**ATLANTIC CITY
FIRE STATION 2**
ROOF REPLACEMENT & MASONRY RESTORATION
138 N INDIANA AVE, ATLANTIC CITY, NJ 08401

**PROPOSED
NORTH ELEVATION CALL OUT
AND FIFTH FLOOR
INTERIOR PARAPET**

SEAL & SIGNATURE	DATE: 01/30/2023
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	DRAWING BY: JG/KW
	CHK BY: TT/PE
	DWG No:

A-207.00

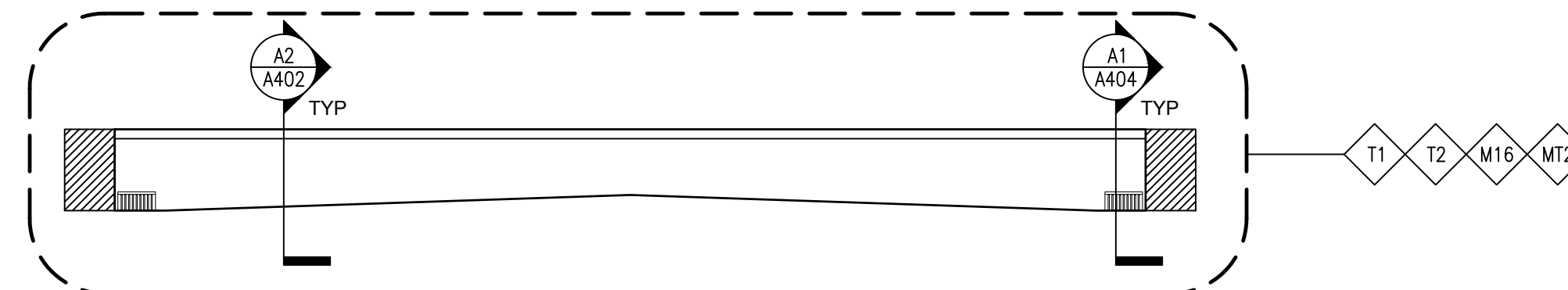
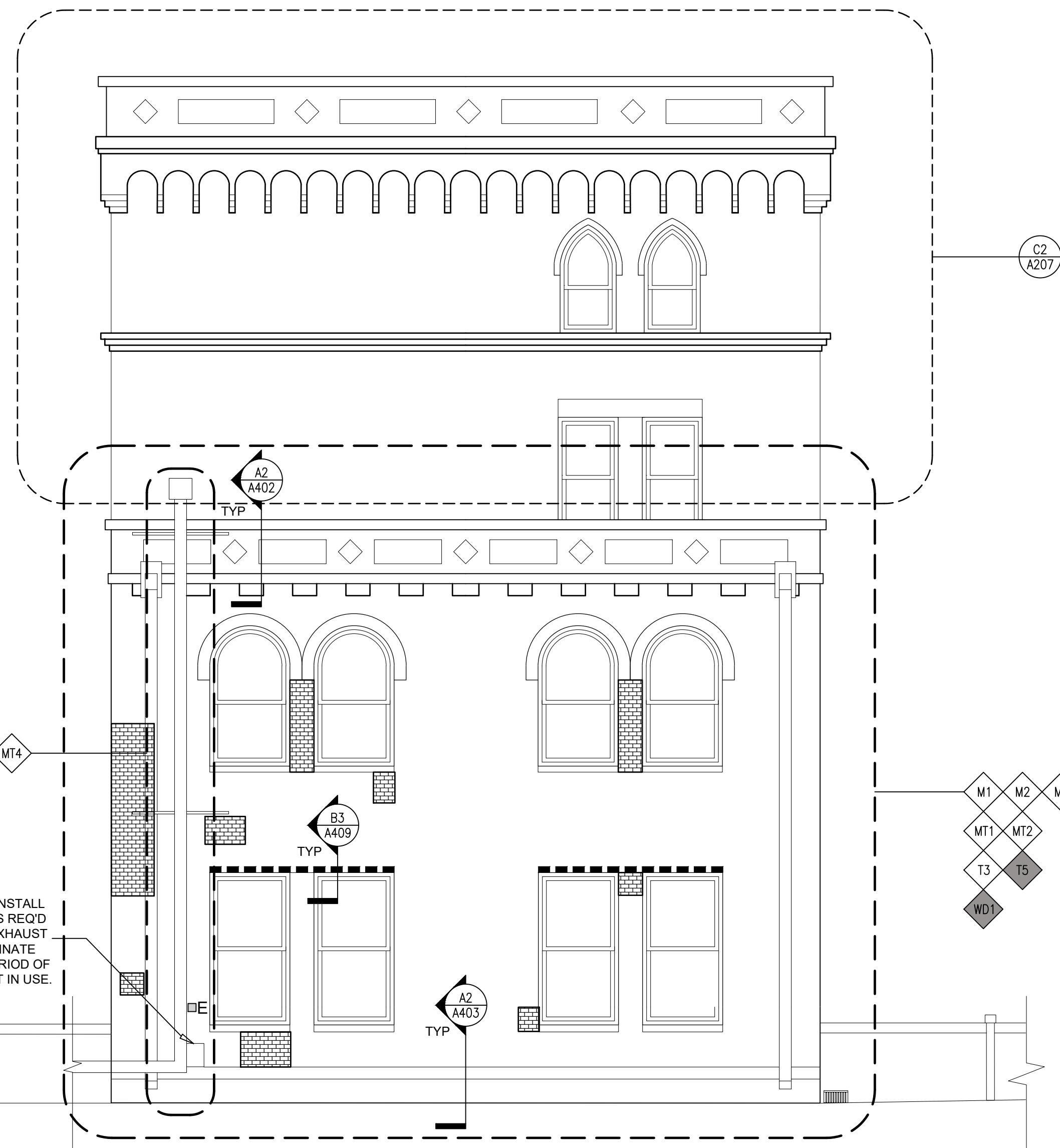


C2 NORTH FACADE

1/4"=1'-0"

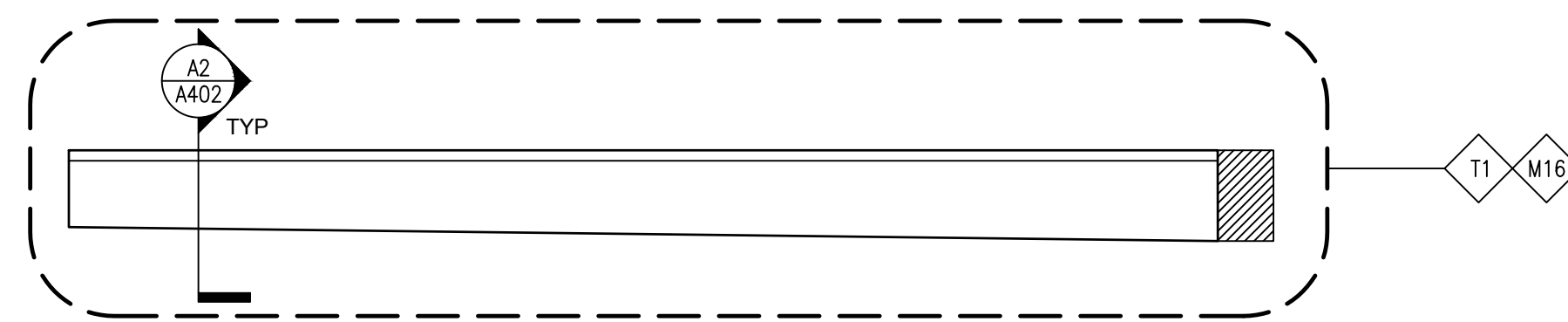
C1 INTERIOR PARAPET - WEST

1/4"=1'-0"



B1 INTERIOR PARAPET - SOUTH

1/4"=1'-0"



A1 INTERIOR PARAPET - EAST

1/4"=1'-0"

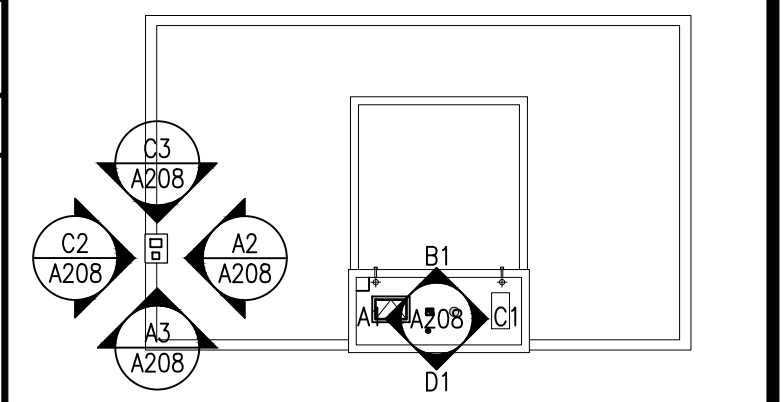
A2 NORTH FACADE

1/4"=1'-0"

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PROPOSED ELEVATION LEGEND

KEY NOTE	◊
ALTERNATE KEY NOTE	◊
EXISTING LIGHT FIXTURE	⊠
EXISTING ELECTRICAL CONDUIT	— —
EXISTING ELECTRICAL OUTLET BOX / EQUIPMENT	⊞
MECHANICAL DAMAGE (LOCALIZED FACEBRICK REPLACEMENT)	■
MASONRY REBUILDING (STRUCTURAL)	▨
MASONRY REBUILDING (FACEBRICK)	▩
LINTEL REPAIR (M5)	— — — —



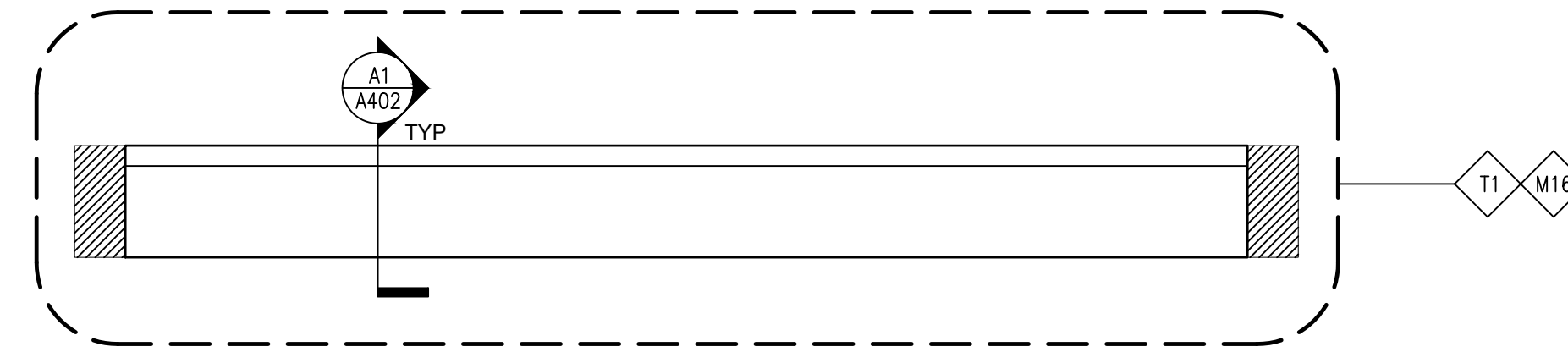
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ISSUE FOR FILING	10/31/2023	
ISSUE FOR BID	10/4/2023	
100% CONSTRUCTION DOCUMENTS	8/11/2023	
CDS 75% PROGRESS SET	3/17/2023	
CDS 50% PROGRESS SET	3/1/2023	
No.	REVISIONS / SUBMISSIONS	Date

PROJECT
ATLANTIC CITY FIRE STATION 2
ROOF REPLACEMENT & MASONRY RESTORATION
138 N INDIANA AVE, ATLANTIC CITY, NJ 08401

PROPOSED CHIMNEY AND ROOF INTERIOR PARAPET

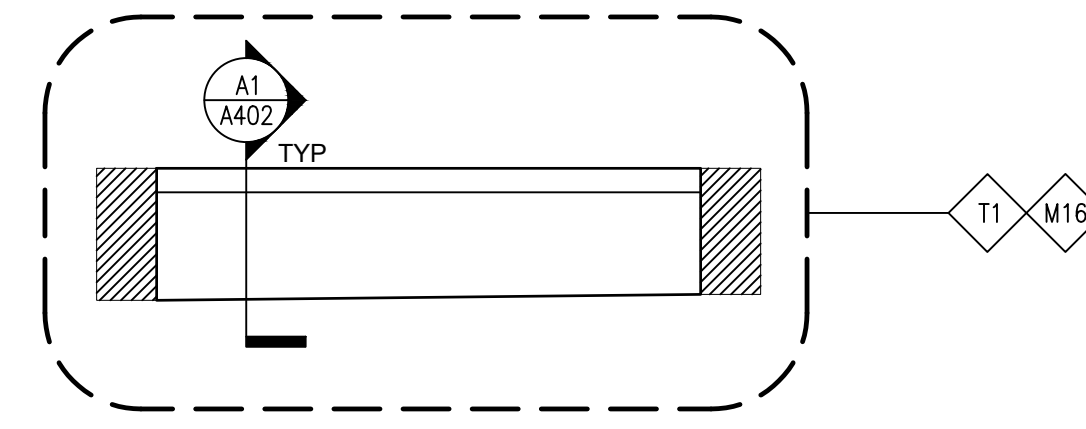
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	PROJECT No: 2215
	DRAWING BY: JG/KW
	CHK BY: TT/PE
	DWG No:

A-208.00



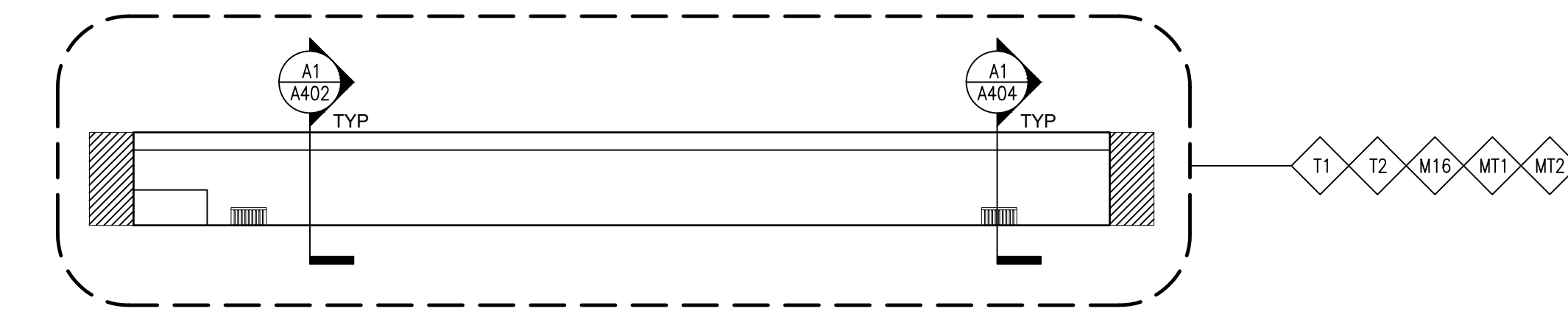
D1 INTERIOR PARAPET – NORTH

1/4"=1'-0"



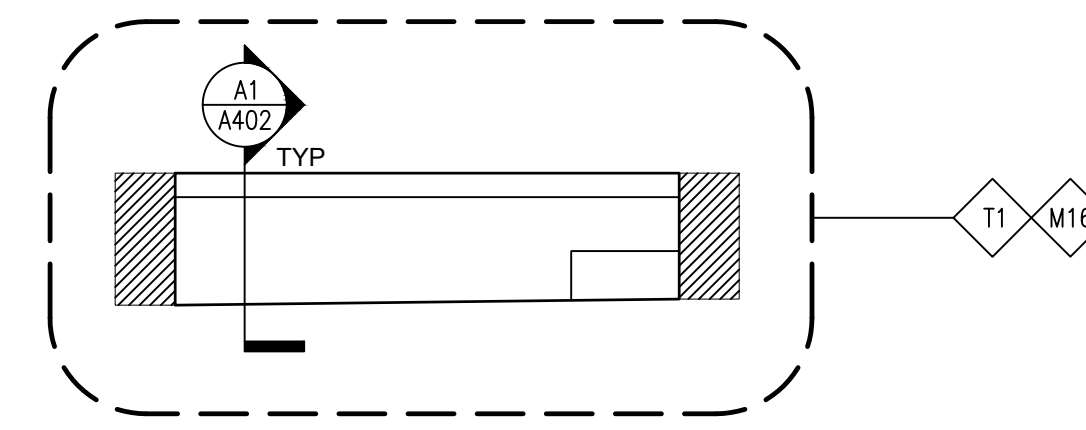
C1 INTERIOR PARAPET – WEST

1/4"=1'-0"



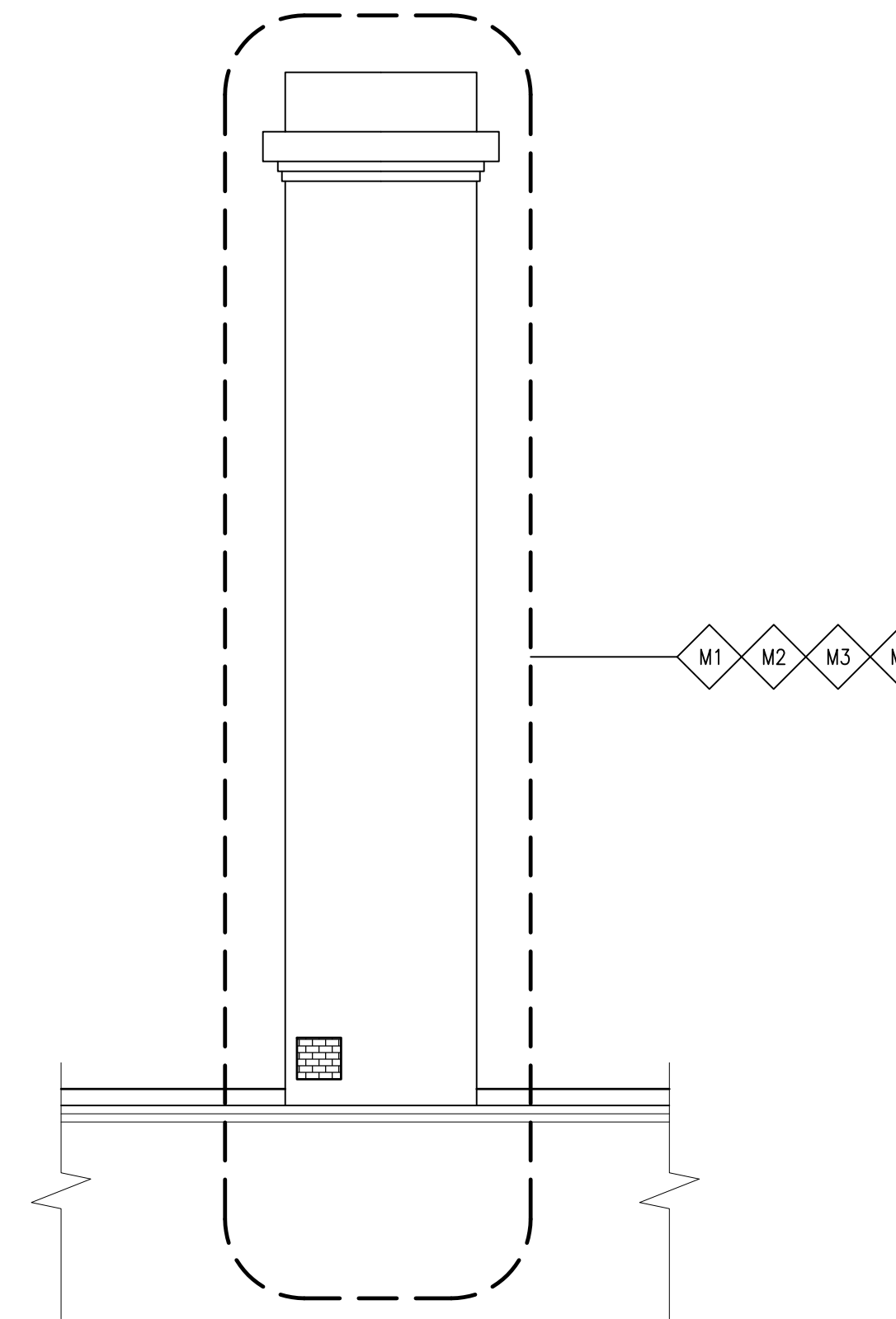
B1 INTERIOR PARAPET – SOUTH

1/4"=1'-0"



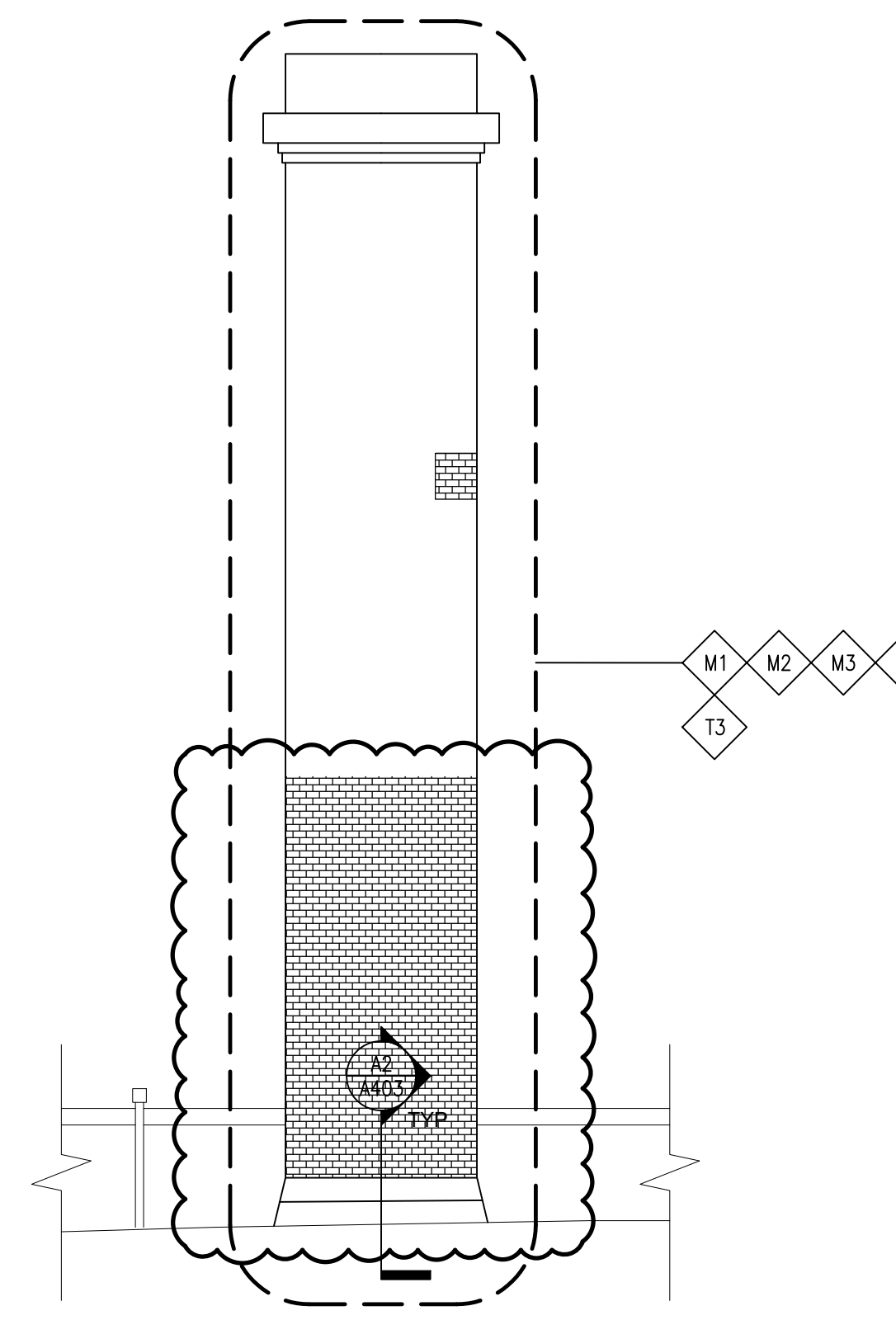
A1 INTERIOR PARAPET – EAST

1/4"=1'-0"



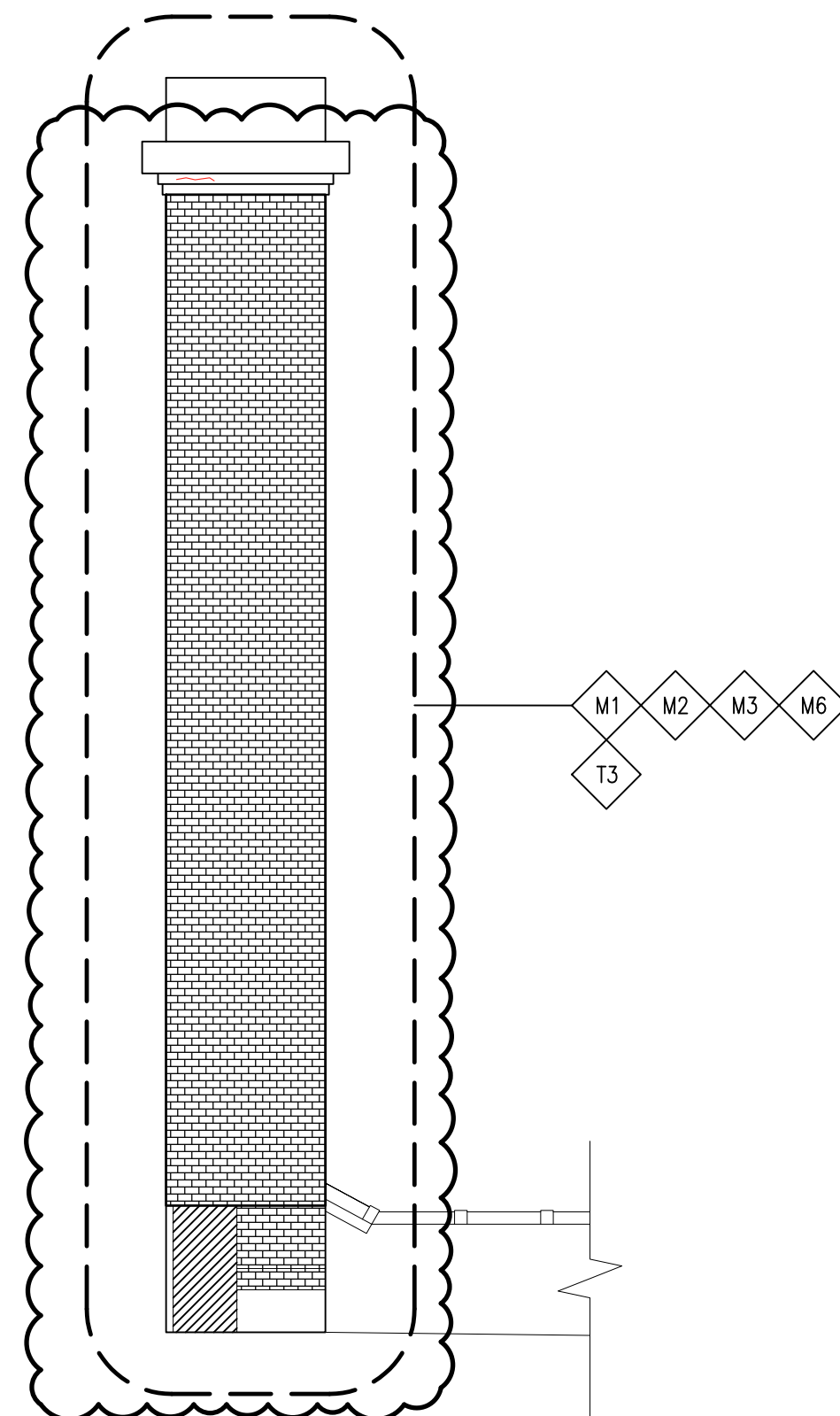
C2 CHIMNEY – WEST

1/4"=1'-0"



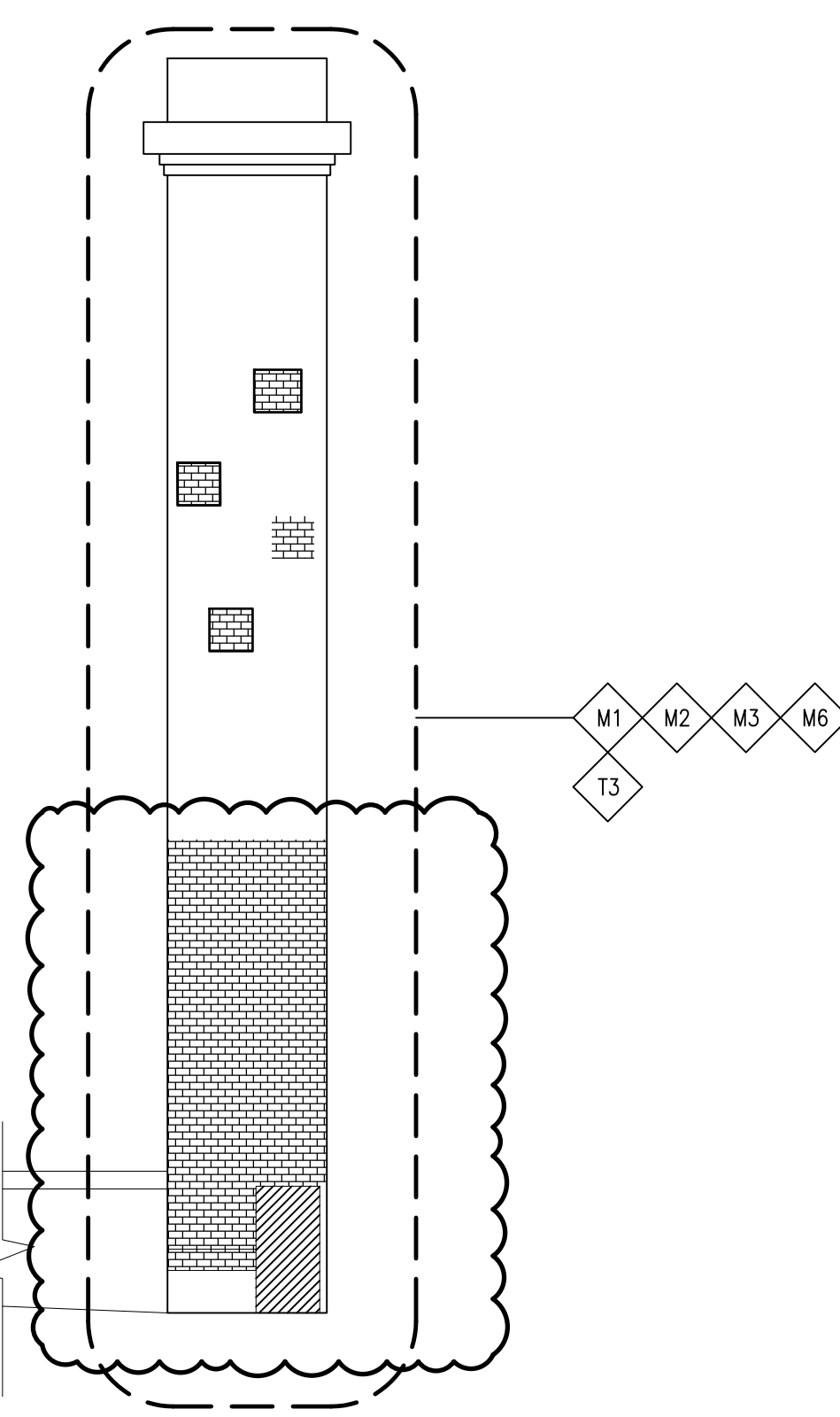
A2 CHIMNEY – EAST

1/4"=1'-0"



C3 CHIMNEY – SOUTH

1/4"=1'-0"



A3 CHIMNEY – NORTH

1/4"=1'-0"